

VICINITY MAP  
SCALE: 1" = 500'

**SITE DATA TABULATION**

OWNER:	RIVERBEND #1, LLC
PROJECT:	RIVERBEND @ 2ND AND GRACE
PROJECT ADDRESS:	316 N. 2ND STREET
TAX PARCEL IDENTIFICATION #:	R04817-001-012-000
PLAT:	PB 66, PG 200
CURRENT ZONING:	CENTRAL BUSINESS DISTRICT (CBD)
CAMA LAND USE CLASSIFICATION:	URBAN
MINIMUM ALLOWABLE BUILDING HEIGHT:	36'
BY RIGHT BUILDING HEIGHT:	100'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	132'
EXISTING LAND USE:	VACANT LAND / AUTO PARKING
PROPOSED LAND USE:	RETAIL / RESIDENTIAL
PROPOSED RIVERBEND RECOMBINATION LOT:	59,248 SF (1.36 AC) "COMBINED TRACT"

**SETBACK STANDARDS**

	PROVIDED	REQUIRED
MINIMUM FRONT SETBACK (2nd ST.)	1.8-7.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (WALNUT ST.)	1.8-2.5' ±	AT LEAST 50% OF BUILDING SET AT PROPERTY LINE
MINIMUM SIDE SETBACK (GRACE ST.)	1.3-8.1' ±	0 FT.
MINIMUM REAR SETBACK ENCROACHMENT	0	0 FT.

BALCONIES INTO PUBLIC ROW PENDING CITY MANAGER OR COUNCIL APPROVAL

**SITE AND IMPERVIOUS INFORMATION**

PROPOSED IMPERVIOUS AREA (TRACT B REVISION)	46,975 (ROOFTOP = 49,230 SF)
TOTAL BUILDING (WITHIN PROPERTY)	2,740 SF
CONCRETE/SIDEWALKS (WITHIN PROPERTY)	5,549 SF
ALLEY PAVEMENT	800 SF (NOT COUNTED AS SCM)
PERVIOUS CONCRETE SIDEWALKS	56,064 SF (REVISED TRACT B BUA)
TOTAL PROPOSED IMP. AREA	
EXISTING IMPERVIOUS AREA (SW8 091026)	(ACTUAL < ALLOCATED)
TRACT A1 (BDA)	15,463 SF < 15,587 ALLOCATED
TRACT B REVISION	28,445 SF < 28,948 ALLOCATED
TRACT SS (TRACT E)	2,593 SF < 7,788 ALLOCATED
TOTAL SW8 091026 =	52,754 SF ALLOCATION

**OTHER TRACTS NOT YET PERMITTED:**

TRACTS 1, 2, 3, 4, 5 =	27,636 SF
EXIST. IMPERVIOUS AREAS =	24,726 SF
REVISED TRACT B EXIST. IMPERVIOUS =	53,171 SF (28,445 + 24,726)
EXISTING IMPERVIOUS TOTAL =	76,546 SF (53,171 + 15,587 + 7,788)
PROPOSED IMPERVIOUS TOTAL =	74,120 SF (56,064 + 15,463 + 2,593)
REMAINING DIFFERENCE =	2,426 SF

**BUILDING INFORMATION**

CONSTRUCTION TYPE:	II
NUMBER OF EXISTING BUILDINGS	0
NUMBER OF PROPOSED BUILDINGS	1 (6-STORIES)
NUMBER OF UNITS	110 UNITS
HEIGHT	70'-FT

**TOTAL AREA PER FLOORS:**

<b>GROUND / L.L.B.:</b>	
Retail	= 11,500 sf
Parking	= 18,887 sf (36 spaces)
Residential (Lobby-Service)	= 7,520 sf
<b>L.L.S.:</b>	
Parking	= 10,932 sf (10 spaces)
<b>L2:</b>	
Parking	= 23,823 sf (81 spaces)
Residential	= 24,100 sf
<b>L3.5:</b>	
Parking	= 23,823 sf (78 spaces)
Residential	= 24,100 sf
<b>L7:</b>	
Parking	= 20,572 sf (65 spaces)
Residential	= 24,100 sf
<b>TOTALS:</b>	
Retail	= 11,500 sf
Parking	= 169,508 sf (504 spaces)
Residential	= 128,020 sf

**PROPOSED BUILDING GSF** 140,220 SF

PERCENT OPEN/GLAZED ALONG GRACE STREET: 50% PER CBD ZONING  
PERCENT OPEN/GLAZED ALONG 2ND STREET: 50% PER CBD ZONING

**PARKING GARAGE(S)**

MINIMUM PARKING REQUIRED:	N/A
MAXIMUM PARKING ALLOWED:	N/A
TOTAL PARKING PROVIDED:	504 SPACES (TOTAL)
ACCESSIBLE PARKING REQUIRED:	11 SPACES (2%)
ACCESSIBLE PARKING PROVIDED:	11 SPACES DISPERSED ON EA. LEVEL
BICYCLE RACK(S)/SPACES PROVIDED:	(4) RACKS WITH 5 SPACES EA. (20 MIN.)

**ON-STREET PARKING**

EXISTING ALONG GRACE STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG GRACE STREET:	3 SPACES
EXISTING ALONG 2ND STREET:	4 SPACES (IN FRONT OF SITE)
PROPOSED ALONG 2ND STREET:	4 SPACES
EXISTING ALONG WALNUT STREET:	6 SPACES TO ALLEY
PROPOSED ALONG WALNUT STREET:	8 SPACES TO ALLEY

**UTILITY INFORMATION**  
OVERHEAD/UNDERGROUND ELECTRIC OVERHEAD LINES, TRANSFORMERS, AND TRAFFIC CABINETS ALONG 2ND STREET PROPOSED TO BE BURIED BY DUKE ENERGY.  
NOTE: OWNER TO CONTACT CITY OF WILMINGTON, AT&T, SPECTRUM, ETC. FOR OTHER OVERHEAD UTILITIES RELOCATION.

**WATER & SEWER**  
MIXED RESIDENTIAL UNITS (110) = 27,000 GPD  
11,500 SF RETAIL (MAX. 250 SEATS = 250x40 = 10,000 GPD)  
TOTAL = 37,000 GPD REQUESTED

**GAS SERVICE**  
TO BE DESIGNED AND SERVICED BY PIEDMONT NATURAL GAS/DUKE ENERGY

- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
  - ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
  - ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - IT SHALL BE THE RESPONSIBILITY OF THE SUBDIVIDER TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. THE SUBDIVIDER MAY ACQUIRE AND ERECT OFFICIAL STREET NAME SIGNS OR MAY CHOOSE TO CONTRACT WITH THE CITY TO INSTALL THE STREET SIGNS AND THE SUBDIVIDER SHALL PAY THE COST OF SUCH INSTALLATION. CONTACT TRAFFIC ENGINEERING TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS.
  - ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
  - THERE ARE NO REGULATED TREES LOCATED ON SITE.
  - STREET LIGHTS ALONG WALNUT, 2ND, AND GRACE IN THE ROW WILL BE INSTALLED BY RIVERBEND #1, LLC AS PART OF THE DEVELOPMENT.
  - GRANITE CURBING ALONG THE STREET SHALL REMAIN THE PROPERTY OF THE CITY. PLEASE CONTACT THE STREETS DEPT. TO PICK UP OR DELIVER TO THE OPERATIONS CENTER ON RIVER RD.

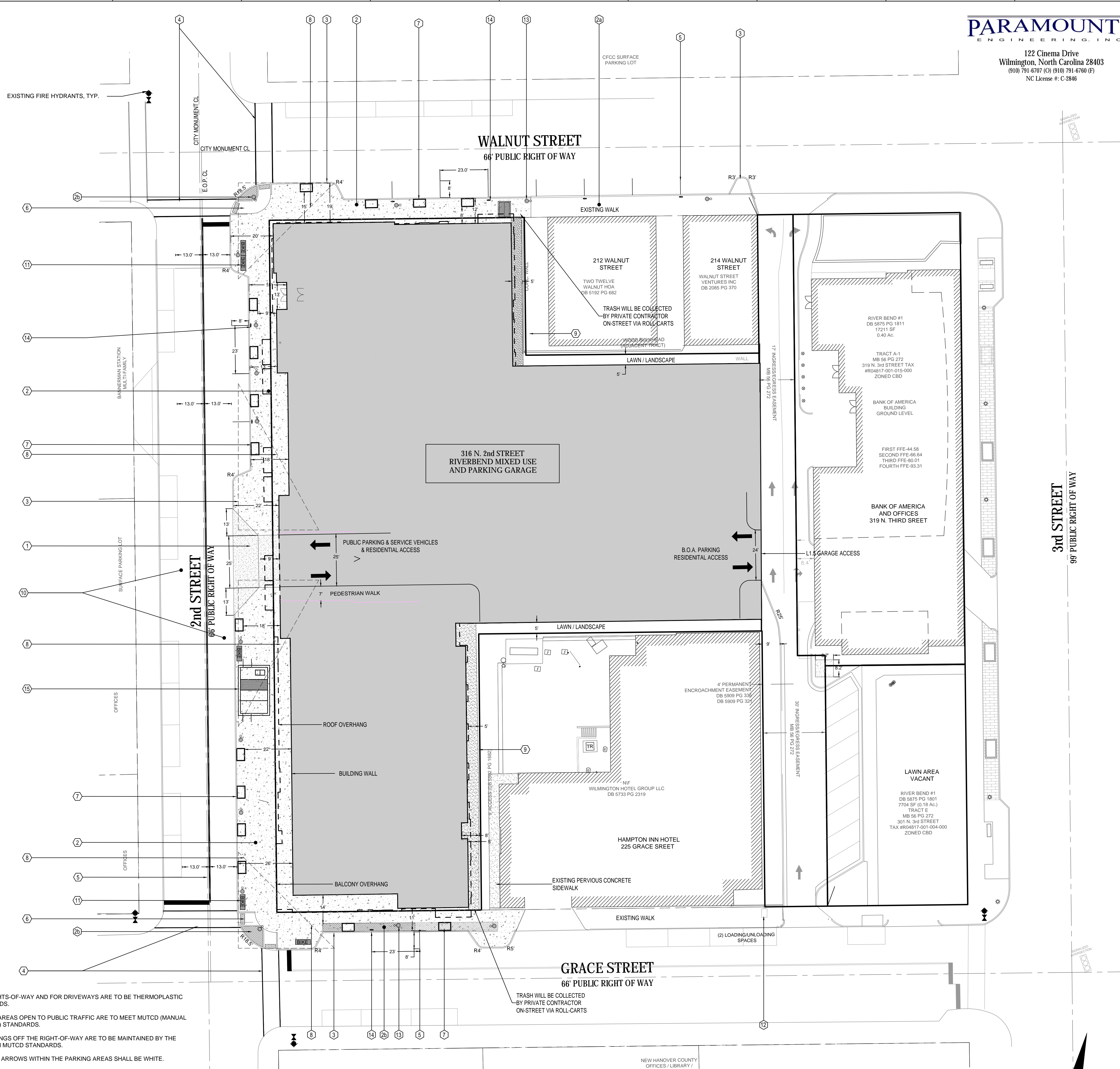
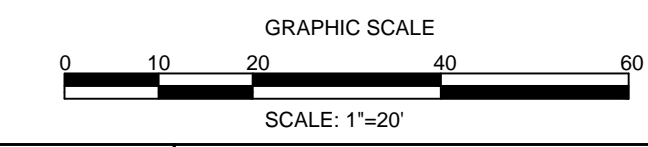
- KEY NOTES:**
- CONCRETE DRIVE APRON  
CITY STD. DETAIL 3-03/04
  - PUBLIC STREET SIDEWALK SCORING PATTERN T&D  
CITY STD. DETAIL 3-10
  - BROKEN SIDEWALK NOTE: IF SIDEWALK PANELS DO NOT MEET CITY STDS AND/OR TRIP HAZARDS THEY MUST BE REPLACED.
  - BRICK PAVERS SIDEWALK CLAY BRICK PAVERS SET ON 1" SAND LEVELING COURSE  
CITY STD. DETAIL 3-11 & STREET CROSS-SECTION DETAIL
  - CITY CROSSWALK MARKINGS  
CITY STD. DETAIL 11-01
  - PAVEMENT MARKING AND STRIPING  
CITY STD. DETAILS 11-01, 11-04, 11-11
  - CURB RAMP  
CITY STD. DETAIL 3-08
  - TREE GRATES  
SEE DETAILS
  - SIGHT DISTANCE TRIANGLES  
CITY STD. 40X40 INTERSECTIONS  
CITY STD. 20X70 DRIVEWAYS
  - PRIVATE PERMEABLE PAVEMENT ALLEY FOR SERVICE AND TRASH ROLL-OFF
  - ASPHALT OVERLAY, 2ND STREET SECTION (SEE DETAILS)
  - BICYCLE BAGS (5 SPOTS MIN.) SHOP DRAWING SUBMITTAL FOR ARCHITECT/ENGINEER APPROVAL
  - COMMUNICATIONS = AT&T TELEPHONE/ENGINEER
  - STREET LIGHT CITY LIGHT (STD DETAIL 9-04)
  - PARKING METER: CITY INSTALLED METER CONTRACTOR TO PROVIDE BASE
  - TRANSFORMER VAULT SERVICES (3) CUSTOMERS ACROSS 2ND ST. (BY DUKE ENERGY SEE UTILITY PLANS)



**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



**PARAMOUNTE ENGINEERING, INC.**  
122 Cinema Drive  
Wilmington, North Carolina 28403  
(910) 791-6707 (C) (910) 791-6700 (F)  
NC License #: C-2846

**RIVERBEND #1, LLC**  
P.O. BOX 1087  
WEST END, NC 27376

**RIVERBEND 316 N. 2ND STREET**

**LS3P ASSOCIATES LTD.**  
101 NORTH THIRD STREET, SUITE 500  
WILMINGTON, NORTH CAROLINA 28401  
TEL. 910.790.9901 FAX 910.790.3111  
WWW.LS3P.COM

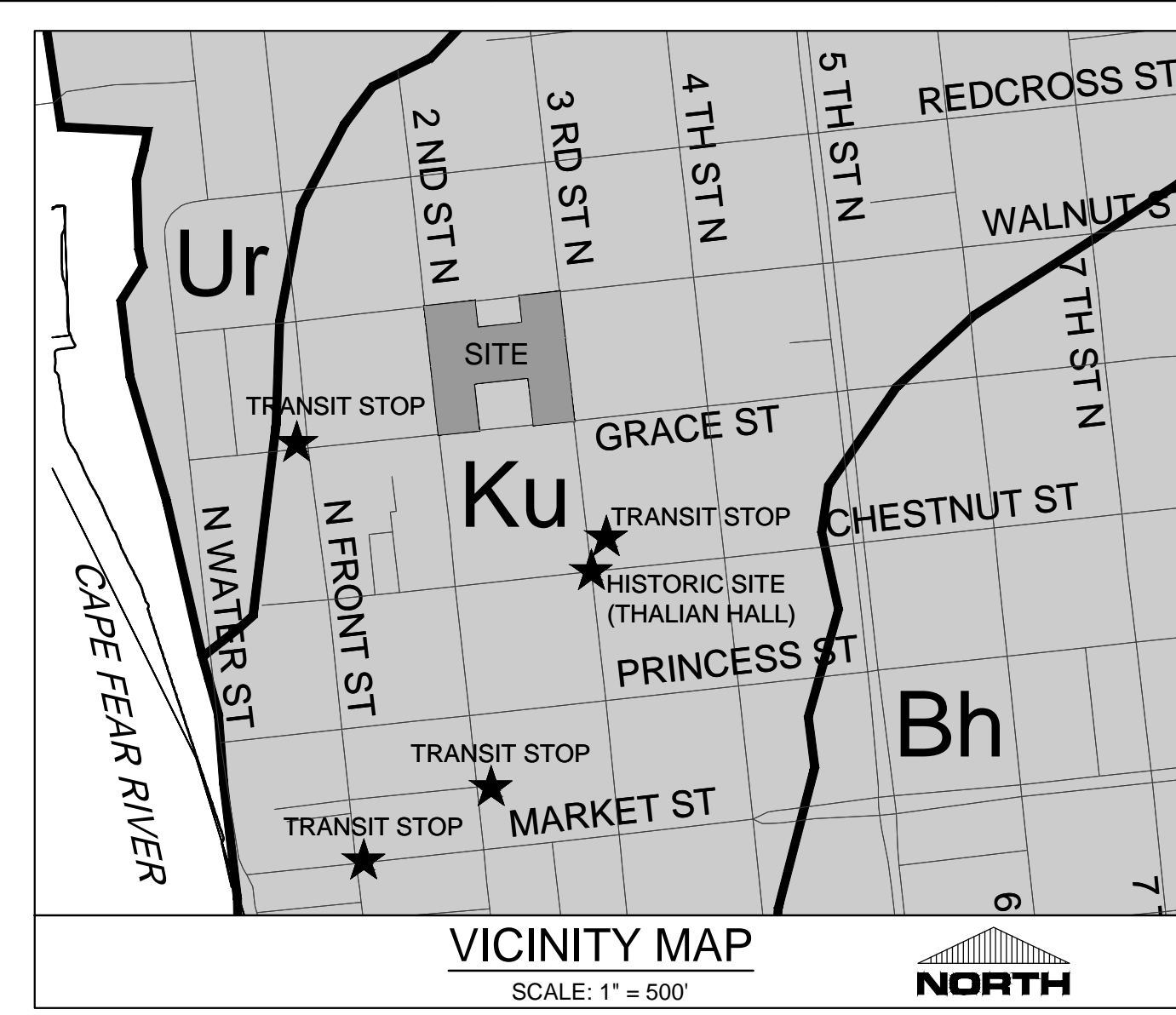
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**REVISIONS:**

No.	Description	Date

PROJECT: 16163.PE  
DATE: MARCH 19, 2019  
DRAWN BY: RPB  
CHECKED BY: JBS

**SITE LAYOUT**  
**C-2.0**  
SOLUTIONS THROUGH LISTENING  
SERVICE BY DESIGN  
DESIGN DEVELOPMENT



**SITE DATA TABULATION**

CURRENT ZONING: CBD (CENTRAL BUSINESS DISTRICT)

**LANDSCAPING**

**PARKING AREA LANDSCAPING:**  
PARKING AREA IS ENTIRELY LOCATED UNDER THE STRUCTURE OF THE BUILDING. NO LANDSCAPE IS PROVIDED IN PARKING AREAS

**BUILDING SETBACK:**

THE BUILDING WILL BE LOCATED ON OR SET BACK LESS THAN ONE FOOT FROM THE PROPERTY LINES. ENTIRE AREA FROM CURB TO BUILDING WILL BE HARDSCAPE OR STREET TREE PLANTING AS INDICATED ON THE PLAN.

**STREET TREES:**

STREET TREE REQUIREMENT: 1 TREE/ 30 FT. OF FRONTAGE

WALNUT STREET REQUIRED: 122 FT OF FRONTAGE - 0' OF DRIVEWAY = 4 TREES

WALNUT STREET PROVIDED: 4 TREES

2ND STREET REQUIRED: 331 FT OF FRONTAGE - 24' OF DRIVEWAY = 11 TREES

2ND STREET PROVIDED: 10 TREES

GRACE STREET REQUIRED: 98 FT OF FRONTAGE - 79' OF DRIVEWAY = 3 TREES

GRACE STREET PROVIDED: 2 TREES

3RD STREET - EXISTING TREES TO REMAIN

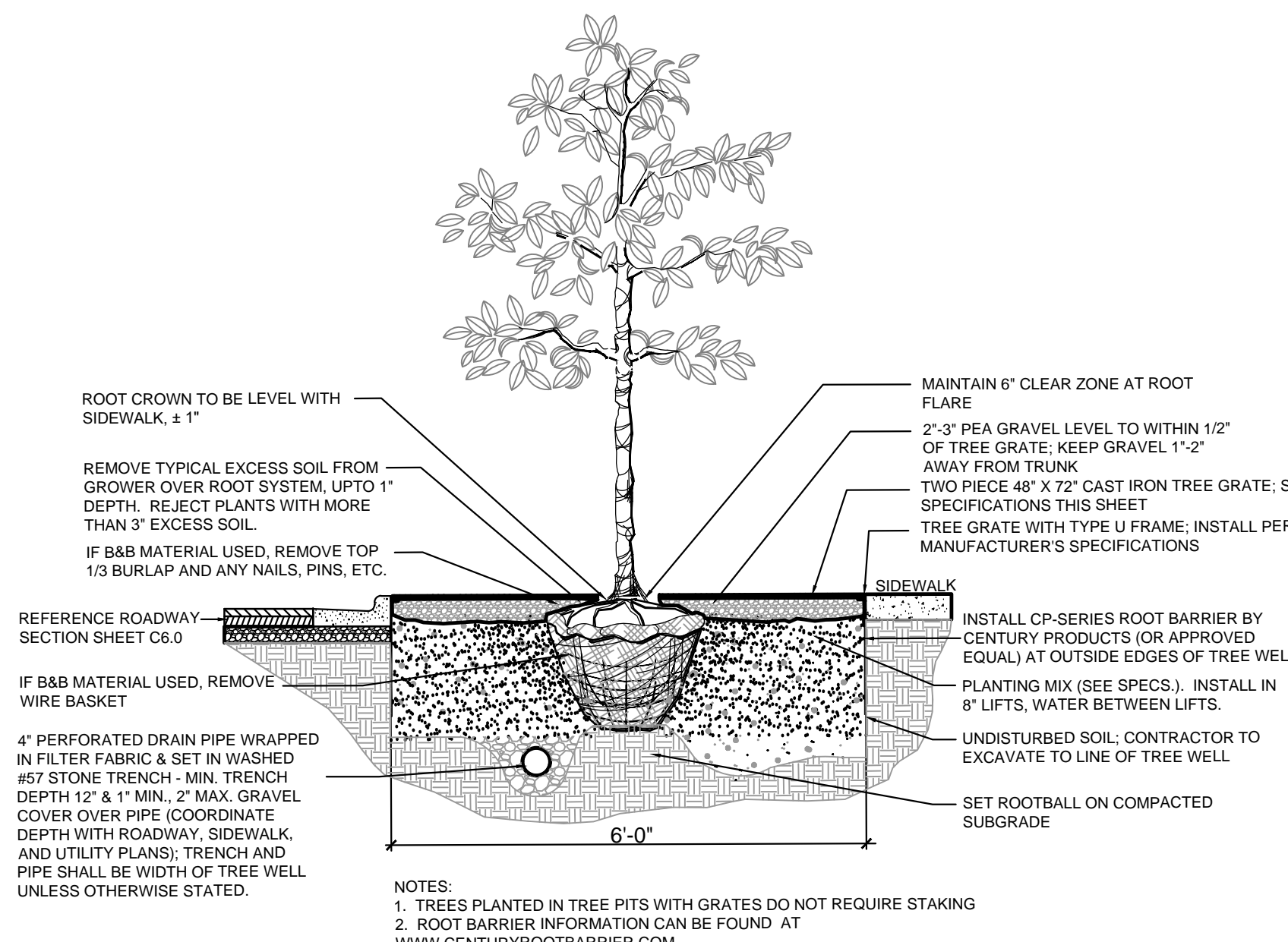
**TREE REMOVAL:**

NO TREES EXIST ON THE SITE. NO MITIGATION REQUIRED

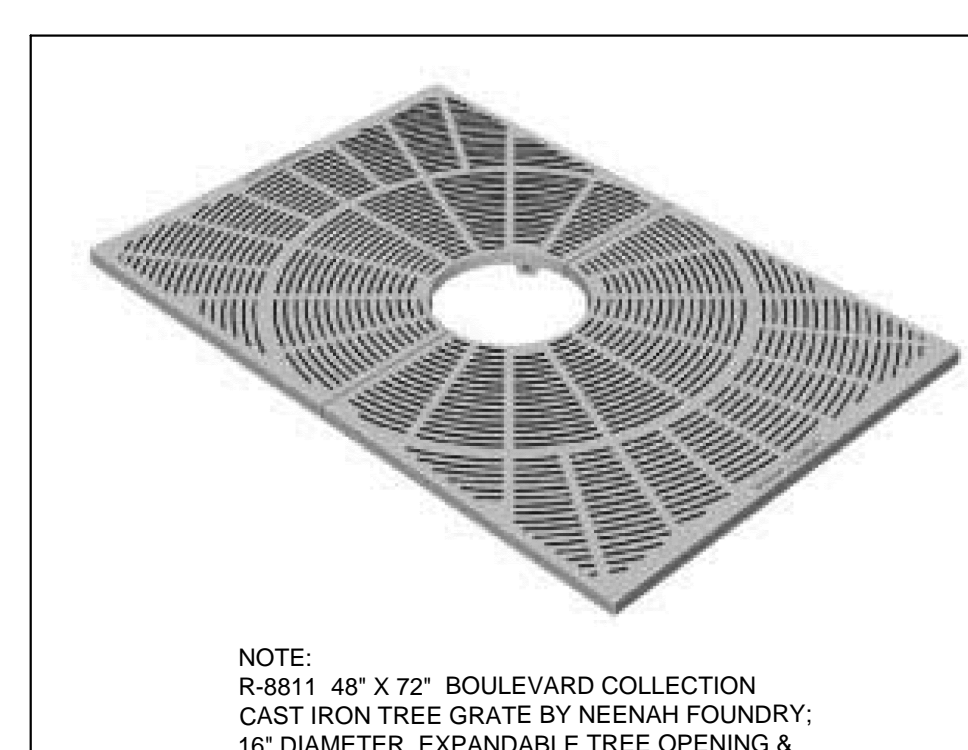
**LANDSCAPE NOTES:**

- Contractor is responsible for identifying all utilities prior to beginning construction. Reference City of Wilmington Notes on Site Plan for more information.
- Trees shall be located a minimum of 5 feet from sewer/water connections or as otherwise dictated by local regulations. Contractor shall be liable for damage to any and all public or private utilities.
- All plant material shall meet the current version of the American Association of Nurserymen's Standards.
- No existing trees shall be removed without approved tree removal permit from the City of Wilmington.
- All planting areas, mulch areas and tree wells (excluding seeded areas) shall be mulched with 3 inch minimum and 4 inch maximum depth double shredded hardwood mulch unless otherwise noted.
- Planting soil mix: Mix existing soil with the soil amendments and fertilizers in the quantities recommended by the soil testing laboratory, third party recognized by the State department of Agriculture or as otherwise approved by the Landscape Architect or Owner's Representative.
- Any and all substitutions of plant material shall be approved by Landscape Architect or Owner's Representative. Failure in obtaining approval may result in liability to the Contractor.
- The Contractor shall replace dead and/or unhealthy plant material within 12 months of acceptance of the installed material from the Owner or Owner's Representative.
- The Contractor shall prepare all seeded or sodded areas to assure that the subgrade has been raked and rolled to accept the sod/seed. All sod/seed areas must be irrigated or hand watered. All sod shall be placed with staggered joints and no gaps between sod joints. Sod should be rolled after installation. All seeded and/or sodded areas should provide a smooth surface free of dips and unlevelled ground.
- Any irrigation shall be designed and installed by a licensed irrigation contractor in the state of North Carolina.
- The Contractor is responsible for hand watering the installed plant material for a period of 6 months from the acceptance from the Owner or Owner's Representative if irrigation has not been installed. During the first 3 months, all material including seeded or sodded areas shall be hand watered once weekly or as needed to ensure survival of plants. The remaining 3 months all material shall be hand watered once per week.
- Contractor is responsible for removing trash, debris and excess materials from the job site once the project is complete. Securing any materials left on site during the course of the project is the Contractor's responsibility and the Contractor will be required to replace any materials at the Contractor's cost.
- There are no known conservation resources associated with this parcel.
- Reference site plan and demolition plans for existing and proposed utility information.
- Contractor shall supply all tree guards and root barriers as specified or substituted materials as approved by Owner and City of Wilmington.
- Contractor is responsible for restoring/rebuilding the 3rd Street streetscape to existing conditions and as acceptable to City of Wilmington. Contractor is responsible for obtaining 3rd Street streetscape plans from City of Wilmington prior to installation of any materials along 3rd Street.
- Contractor is responsible for transplanting, holding/stringing/stock piling and replanting/installing all existing plant material and streetscape materials along 3rd Street. Contractor shall replace any damaged or unsatisfactory material with new material to match the same size, type and color of material installed back on site.
- If sidewalks, planters, benches, tree grates, brick pavers, or curbing are damaged during removal, storage, or construction, the applicant shall replace them using an approved contractor in accordance with NCDOT or City of Wilmington Standards.

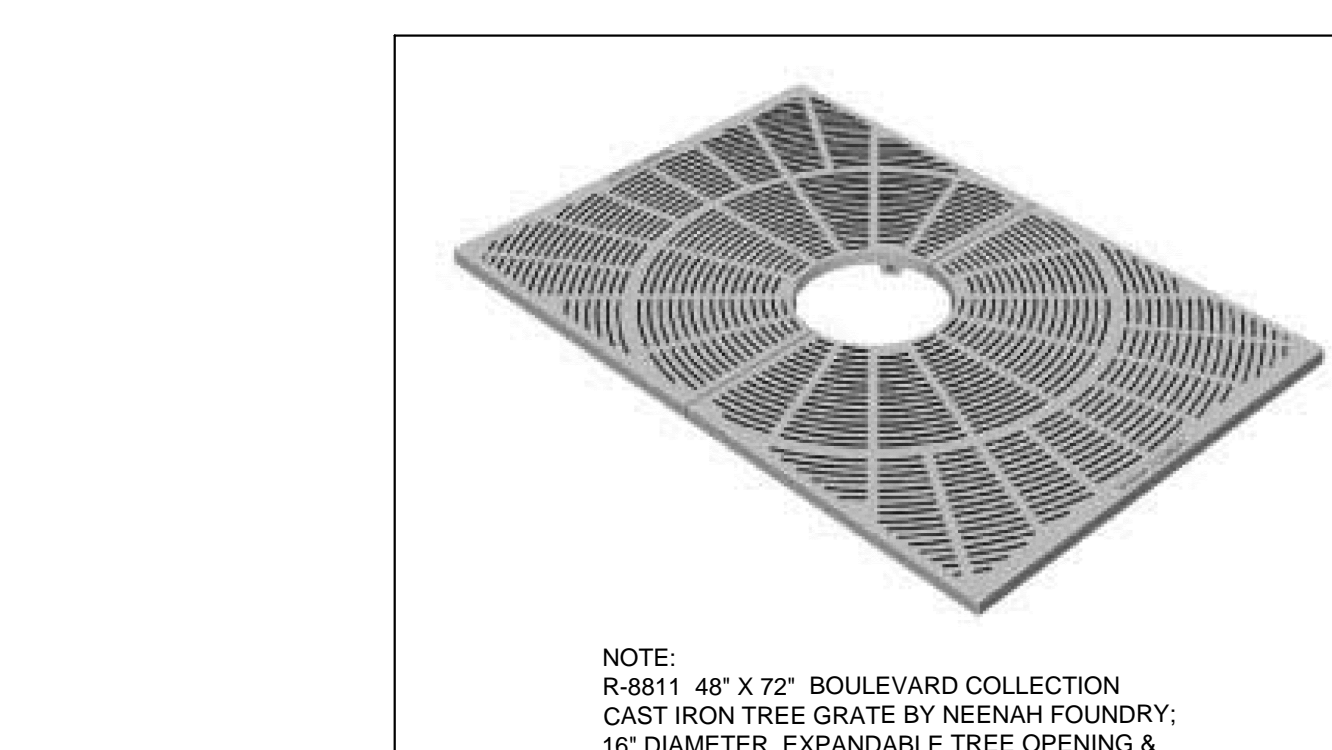
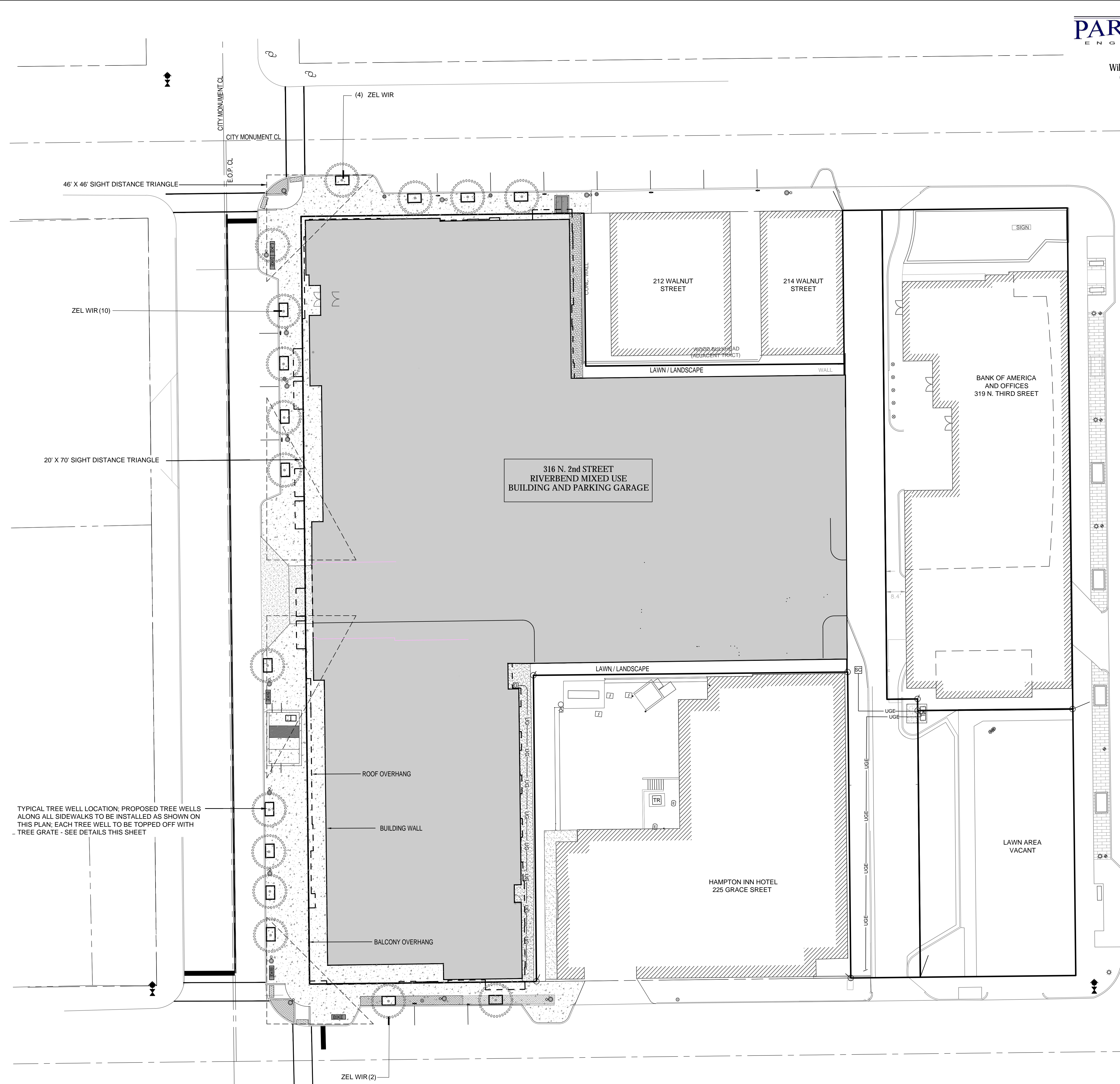
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY
	ZEL WIR	Zelkova serrata 'Wireless' Wireless Zelkova	2.5' cal	16



**A SINGLE STEM TREE INSTALLATION DETAIL FOR TREE WELL**



**B TREE GRATE SPECIFICATION FOR TREE WELL**



**TYPICAL TREE WELL LOCATION: PROPOSED TREE WELLS ALONG ALL SIDEWALKS TO BE INSTALLED AS SHOWN ON THIS PLAN. EACH TREE WELL TO BE TOPPED OFF WITH TREE GRATE - SEE DETAILS THIS SHEET**

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REVISIONS:

No.	Description	Date

PROJECT: 16163.PE  
DATE: FEBRUARY 15, 2019  
DRAWN BY: AHE  
CHECKED BY: RPB

**LANDSCAPE PLAN**

**L-1.0**

SOLUTIONS THROUGH LISTENING  
SERVICE BY DESIGN  
DESIGN DEVELOPMENT

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**WILMINGTON NORTH CAROLINA**  
Public Services • Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED

Signed: \_\_\_\_\_

**Approved Construction Plan**  
Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

